

# SITE PLAN GENERAL NOTES

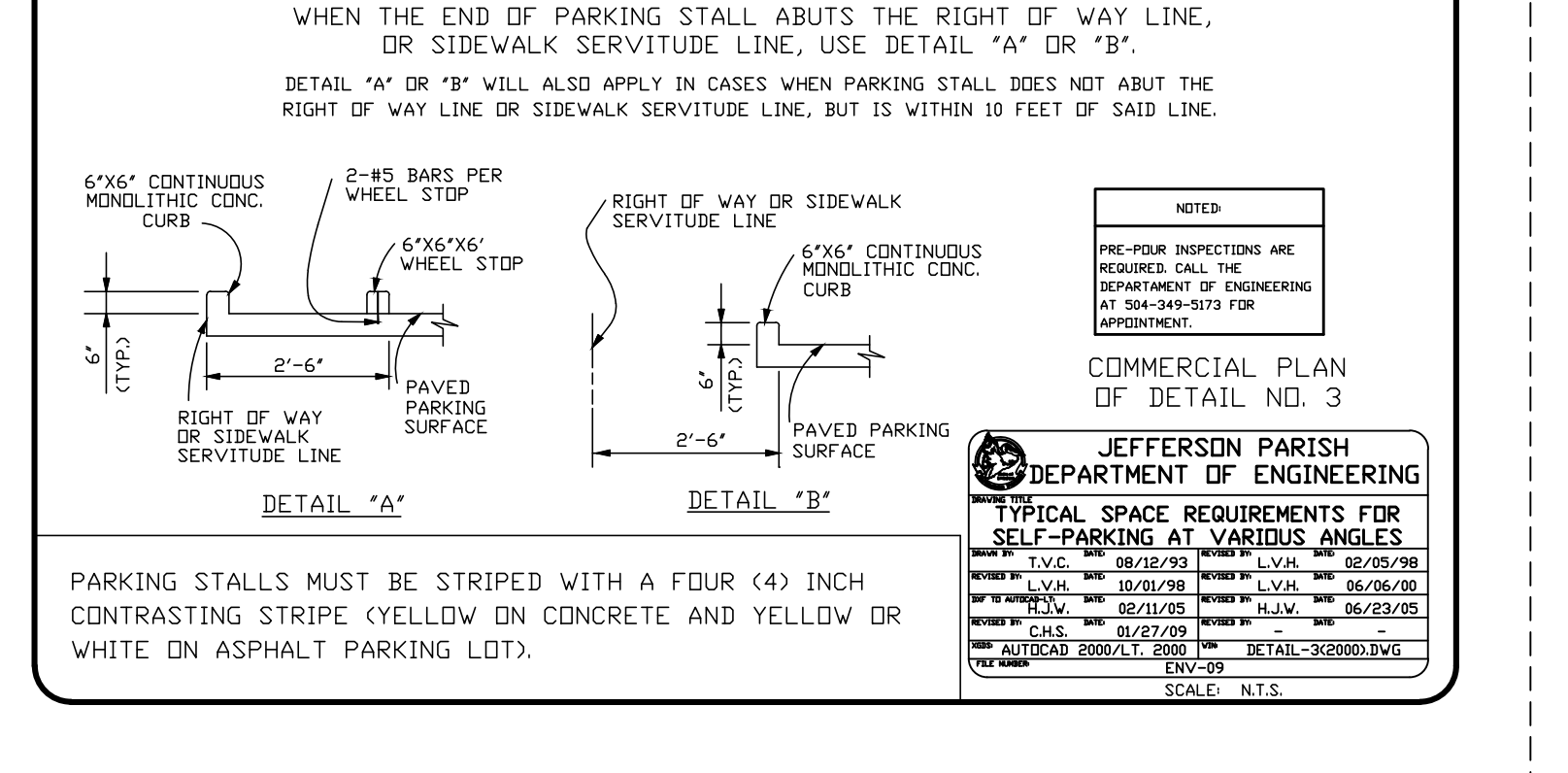
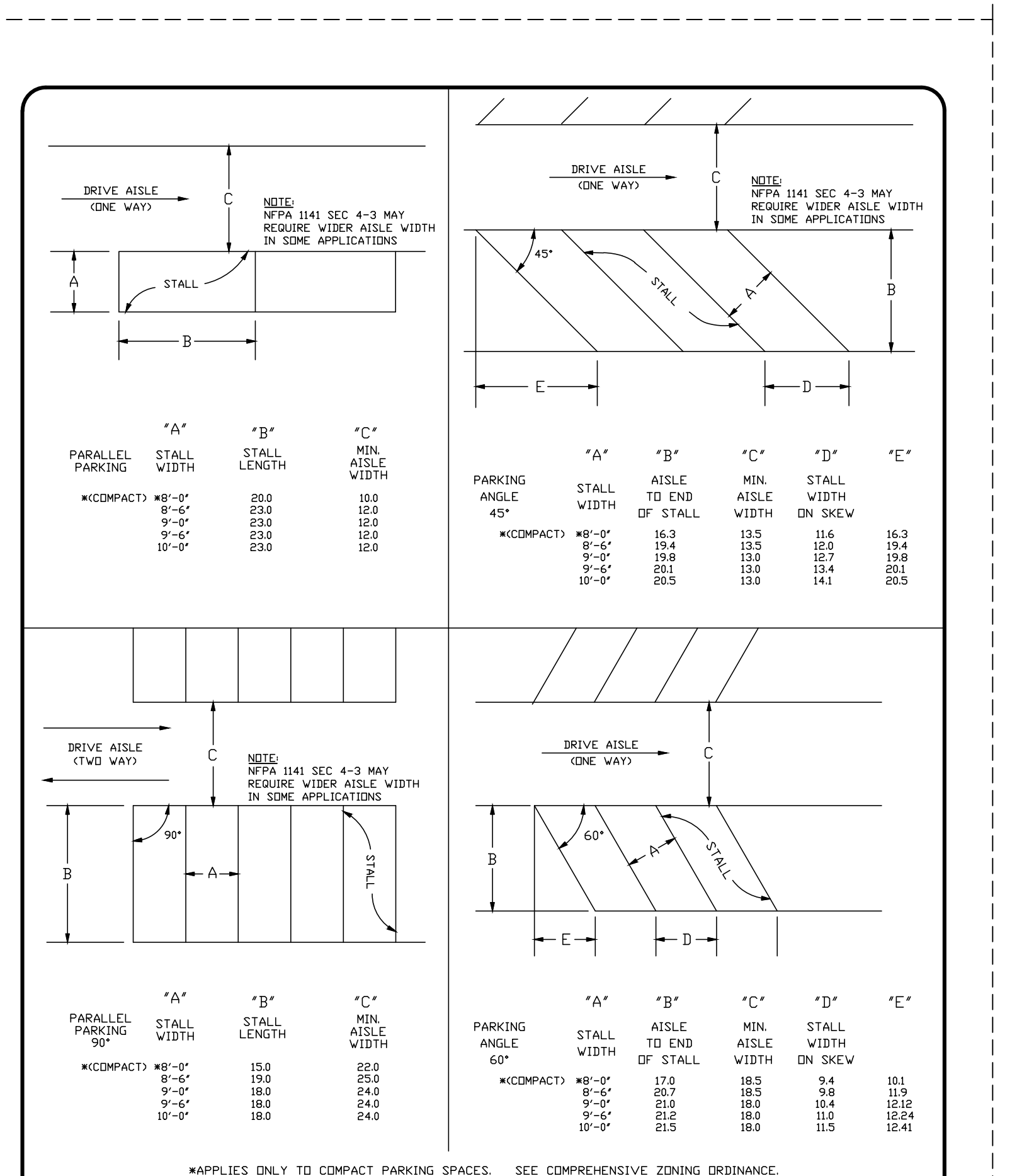
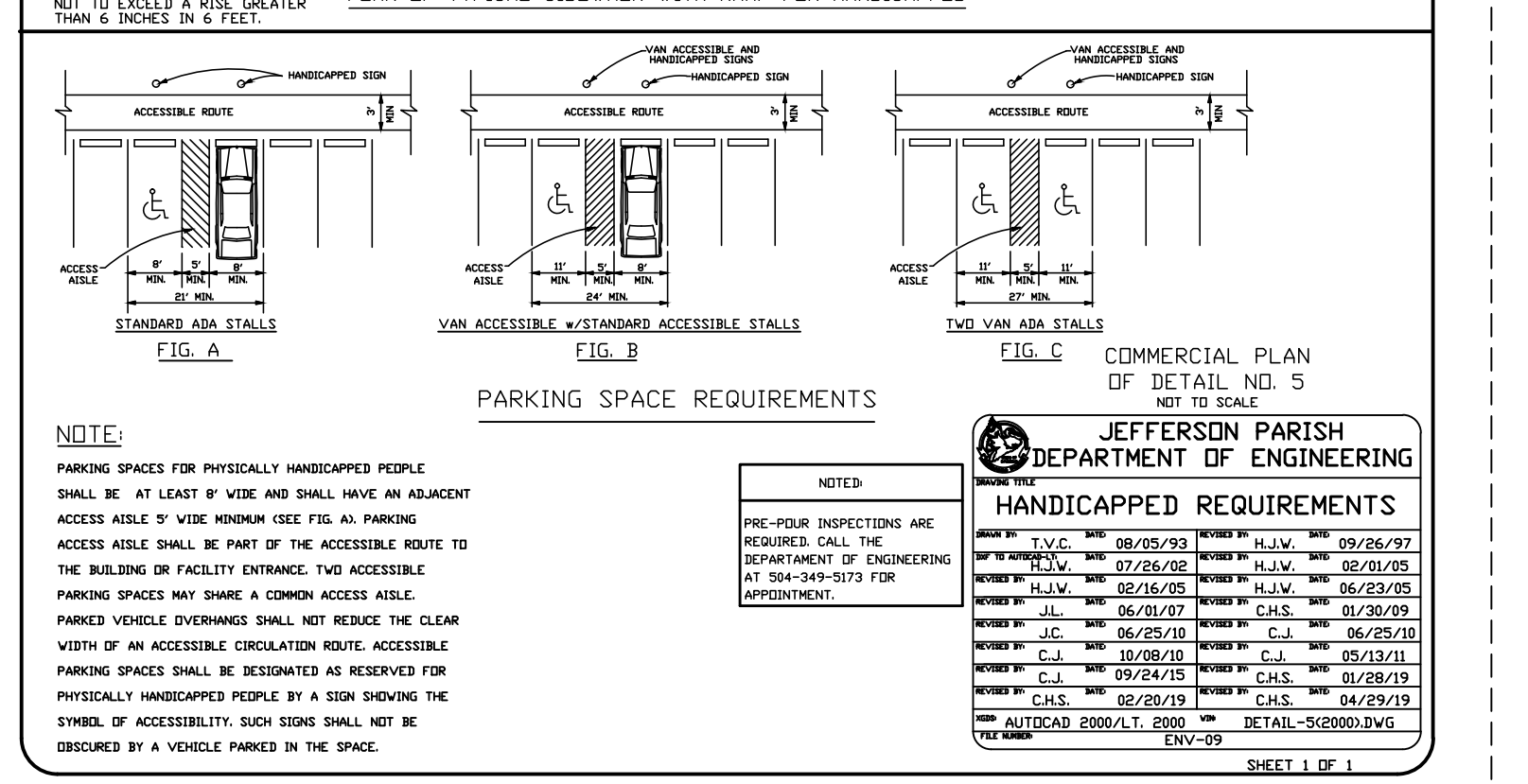
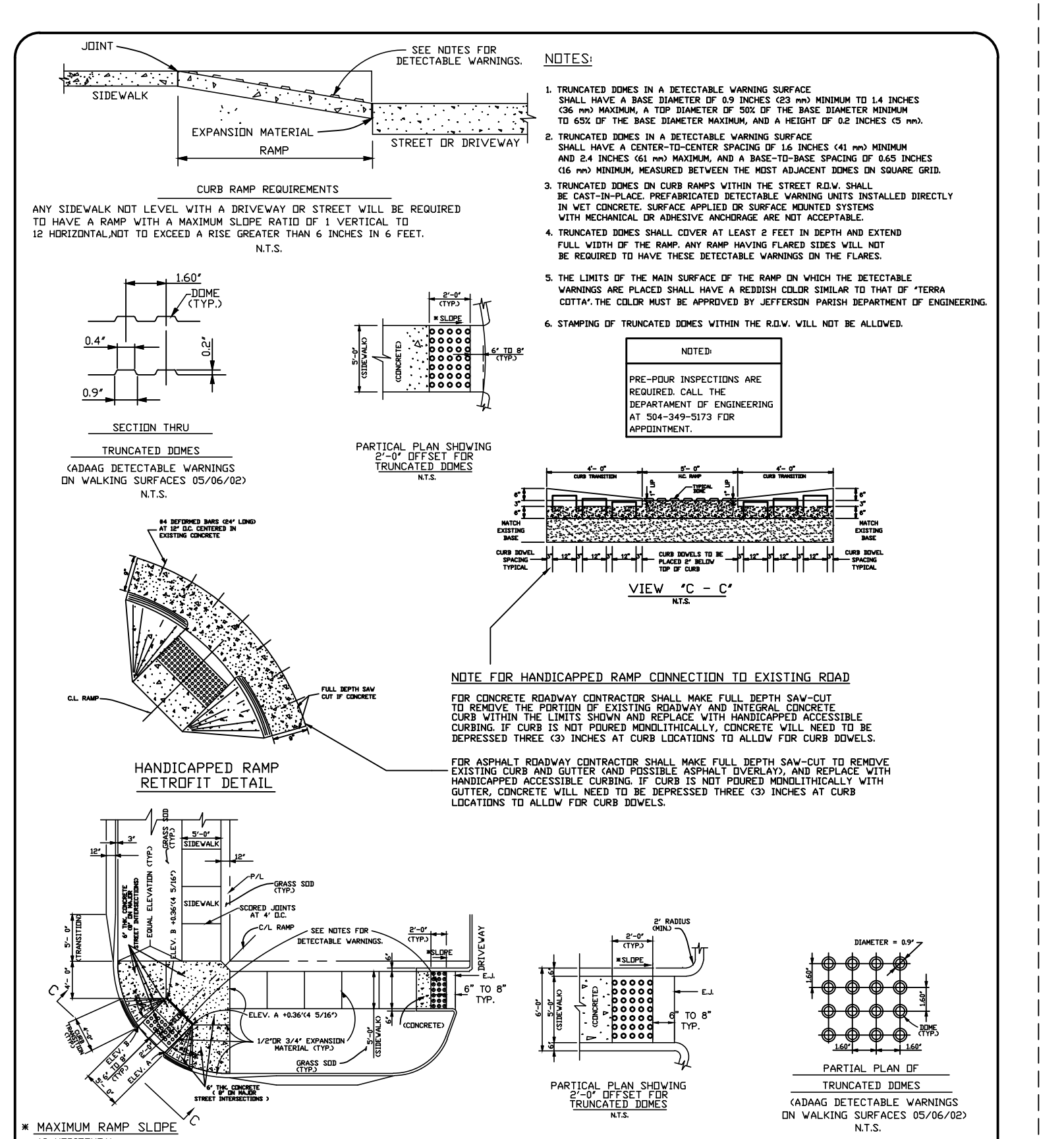
- ALL SIDEWALKS SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, WITH A COMPRESSIVE STRENGTH OF 4,000 P.S.I. IN FOURTEEN (14) DAYS, AND A MINIMUM THICKNESS OF 5'.
- ALL SIDEWALKS ARE TO HAVE A WIDTH OF 5' AND SHALL BE CONSTRUCTED AS PER THE LOCATION SHOWN ON THIS PLAN.
- ALL SIDEWALKS SHALL BE SCORED TO A DEPTH OF 3'-4" AT 4'-FOOT INTERVALS, WITH EXPANSION JOINTS PLACED AT 20'-FOOT INTERVALS.
- EXPANSION JOINTS SHALL BE CONSTRUCTED OF 3/4" REDWOOD OR TREATED TIMBER.
- EXPANSION JOINT AT THE BACK OF CURB SHALL BE CONSTRUCTED OF 1/2" THICK PRE-MOLDED EXPANSION MATERIAL.
- ANY SIDEWALK OR ACCESSIBLE ROUTE THAT IS NOT AT LEVEL ELEVATION AT ITS INTERSECTION WITH A DRIVEWAY OR STREET SHALL BE REQUIRED TO INSTALL A CURB RAMP AT A MAXIMUM SLOPE OF 1:12, WITH A MAXIMUM - 6' RISE IN 6 FT.
- THE DRIVEWAY AND INTERSECTION HANDICAP RAMP SHALL BE CONSTRUCTED WITH THE CURRENT ADA APPROVED DETECTABLE WARNING SURFACES. THESE DETECTABLE WARNINGS SHALL CONSIST OF TRUNCATED DOMES WITH A DIAMETER OF NOMINAL .9"(23mm), A HEIGHT OF NOMINAL .2"(5mm) AND CENTER-TO-CENTER SPACING OF NOMINAL 2.35"(60mm).
- TRUNCATED DOMES ON CURB RAMPS WITHIN THE STREET R.O.W. SHALL BE CAST-IN-PLACE, PREFABRICATED DETECTABLE WARNING UNITS INSTALLED DIRECTLY IN WET CONCRETE, SURFACE APPLIED OR SURFACE MOUNTED SYSTEMS WITH MECHANICAL OR ADHESIVE ANCHORAGE ARE NOT ACCEPTABLE.
- TRUNCATED DOMES SHALL COVER AT LEAST 2 FEET IN DEPTH AND EXTEND FULL WIDTH OF THE RAMP, ANY RAMP HAVING FLARED SIDES WILL NOT BE REQUIRED TO HAVE THESE DETECTABLE WARNINGS ON THE FLARES.
- THE LIMITS OF THE MAIN SURFACE OF THE RAMP ON WHICH THE DETECTABLE WARNINGS ARE PLACED SHALL HAVE A REDDISH COLOR SIMILAR TO THAT OF 'TERRA COTTA'. THE COLOR MUST BE APPROVED BY JEFFERSON PARISH DEPARTMENT OF ENGINEERING.
- SIDEWALK SHALL BE SLOPED 1/4" PER FOOT (MAX 2% SLOPE) TOWARDS THE STREET.
- CONTRACTOR SHALL CONTACT THE DEPARTMENT OF ENGINEERING, 504-349-5173, TWO DAYS PRIOR TO ANY WORK DONE WITHIN THE PARISH RIGHT-OF-WAY OR SERVITUDE.

# PARKING LOT

- PARKING STALLS MUST BE STRIPED WITH A 4-INCH CONTRASTING STRIPE (YELLOW ON CONCRETE AND YELLOW OR BLUE ON ASPHALT PARKING LOT).
- HANDICAP PARKING SPACE TO BE DESIGNATE BY BLUE STRIPING AND EITHER A BLUE SYMBOL ON A WHITE BACKGROUND OR A WHITE SYMBOL ON A BLUE BACKGROUND. HANDICAP PARKING STALL REQUIRES THE INSTALLATION OF THE PROPER SIGNAGE.
- ALL WHEEL STOPS AND CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL SHOWN ON THIS PLAN.
- ALL PARKING SPACES ARE TO BE LAID OUT IN ACCORDANCE WITH THE TYPICAL DETAIL AS SHOWN ON THIS PLAN, UNLESS OTHERWISE INDICATED ON THIS PLAN.

# TRAFFIC CONTROLS

- ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO THE JEFFERSON PARISH TRAFFIC ENGINEERING DIVISION AND CONFORMITY TO THE REQUIREMENTS OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL NECESSARY TRAFFIC SIGNS AND/OR BARRICADES AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY. PHONE: 736-6530.
- ALL DRIVEWAYS BETWEEN STREET AND PROPERTY LINE SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, WITH A COMPRESSIVE STRENGTH OF 4,000 P.S.I. IN FOURTEEN (14) DAYS AND A MINIMUM THICKNESS OF 8'.
- ALL DRIVEWAYS BETWEEN STREET AND PROPERTY LINE CONNECTING WITH AN EXISTING ROADWAY ARE TO BE CONSTRUCTED IN ACCORDANCE WITH DETAIL AS SHOWN ON THIS PLAN.
- EXACT LOCATION OF ROADWAY AND DRIVEWAY CURBING WILL BE DETERMINED IN THE FIELD BY A REPRESENTATIVE OF THE DEPARTMENT OF ENGINEERING.
- CONTRACTOR SHALL CONTACT THE DEPARTMENT OF ENGINEERING, 504-349-5173, TWO DAYS PRIOR TO THE FORMING OF THE DRIVEWAYS CONNECTING TO THE ROADWAY.



NOTE: IN ACCORDANCE WITH ARTICLE 113 (LOT GRADE) OF THE JEFFERSON PARISH BUILDING CODE, ALL WATER RUNOFF SHALL NOT BE ALLOWED TO ENTER ADJOINING PROPERTIES.

JEFFERSON PARISH  
DEPARTMENT OF ENGINEERING

**COMMERCIAL PLAN OF DESIGN DETAILS AND GENERAL NOTES**

| DRAWN BY:   | DATE:    | DOF TO AUTOCAD BY: | DATE:    |
|-------------|----------|--------------------|----------|
| H.J.W.      | 10/14/02 | H.J.W.             | 01/15/04 |
| REVISOR BY: | DATE:    | REVISOR BY:        | DATE:    |
| H.J.W.      | 01/07/05 | H.J.W.             | 02/17/05 |
| H.J.W.      | 06/22/05 | J.L.               | 06/01/07 |
| C.H.S.      | 02/03/09 | C.H.S.             | 06/03/09 |
| J.C.        | 05/26/11 | J.C.               | 10/08/10 |
| J.C.        | 09/09/11 | C.H.S.             | 11/19/18 |
| C.H.S.      | 01/28/19 | C.H.S.             | 02/20/19 |
| C.H.S.      | 04/22/19 | C.H.S.             | 04/29/19 |
| REVISOR BY: | DATE:    | REVISOR BY:        | DATE:    |
| —           | —        | —                  | —        |

XGDS: AUTOCAD 2000/LT. 2000 VIM ONESTOP1 04-22-19.DWG

NOTE: IF THE CONSTRUCTION OF THE SUBJECT PROPERTY IS NOT IN COMPLIANCE WITH JEFFERSON PARISH STANDARDS, REGULATIONS, ORDINANCES, OR RESOLUTIONS DUE TO THE UNAUTHORIZED ALTERATION OF THIS OFFICIAL JEFFERSON PARISH ENGINEERING DETAIL SHEET, THE PROPERTY MUST BE BROUGHT INTO COMPLIANCE AT THE OWNER'S EXPENSE.

**SPR-1**